

**GENERAL SITE NOTES**

- Development and use of this site shall conform to all applicable codes and ordinances.
- Structures and landscaping within a height measured back 10' from the proposed building shall be maintained at a maximum height of 3'-0" and driveway entrances will be maintained at a maximum height of 3'-0".
- Owners of property adjacent to the public right of way will have the responsibility for maintaining all landscaping within the right of way in accordance with approved plans.
- All new or relocated utilities will be placed underground.
- Any on-site lighting will be placed so as to direct light away from adjacent residential districts and will not exceed one foot candle at the property line. No noise, odor or vibration will be emitted so that it exceeds the general level of noise, odor or vibration struck by uses outside of site.
- All rooftop equipment and satellite dishes shall be screened to the height of the tallest equipment.
- Plans shall reflect all existing improvements at proposed site. Obstructions to be removed shall be indicated on drawings. Obstructions to be retained shall be indicated on drawings. Obstructions to be removed or relocated in kind before beginning construction.
- All on-site water lines, including those required for fire protection shall be private plumbing lines subject to the Phoenix Plumbing Code.
- All new sanitary sewer lines within the site shall be private plumbing lines subject to the Phoenix Plumbing Code or the Arizona Department of Environmental Quality (ADEQ) Aquifer Protection Program (APP) General Permit 4.01 in accordance with Arizona Administrative Code Title 18, Chapter 9, Section E301 (AAC R18-9-E301) whichever is applicable.
- After final approval the project will be inspected for zoning compliance during construction and offer to occupancy. The applicant is to notify PDD prior to occupancy to arrange for inspections. Call 602-252-6891 and request a site inspection.
- All service areas shall be screened to conceal trash containers, loading docks, equipment and other service areas. All trash containers, mechanical or electrical equipment from eye level adjacent to all public streets.
- All signage requires separate approvals and permits.
- Explosive or hazardous processes (if applicable). Certification shall be provided by a licensed professional engineer or geologist. All safety and environmental standards as administered by the Bureau.
- The developer shall update all existing off-street improvements (sidewalks, curb ramps and driveways) to current ADA guidelines.
- Replace all existing broken or out-of-grade curb and sidewalks on and in the ROW adjacent to the site. If new or existing concrete is damaged during construction process, it must also be replaced prior to final approval of the site.
- The project is located in the City of Phoenix Water Services Area and has been designed as being an observed water supply.
- Landscaping shall be maintained by a permanent and automatic irrigation system to minimize maintenance and water consumption.
- All existing burden or out of grade curb and sidewalk on the project site will need to be replaced so that as any new curb or sidewalk damaged during construction.
- Update all existing off-site street improvements (sidewalks, curb ramps and driveways) to current ADA guidelines.

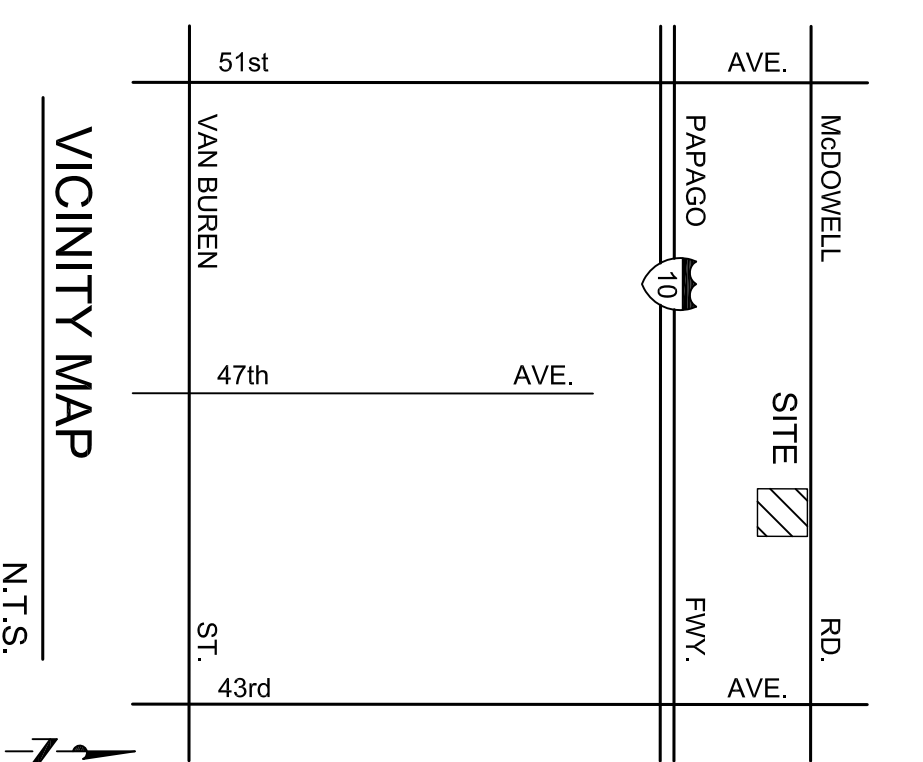
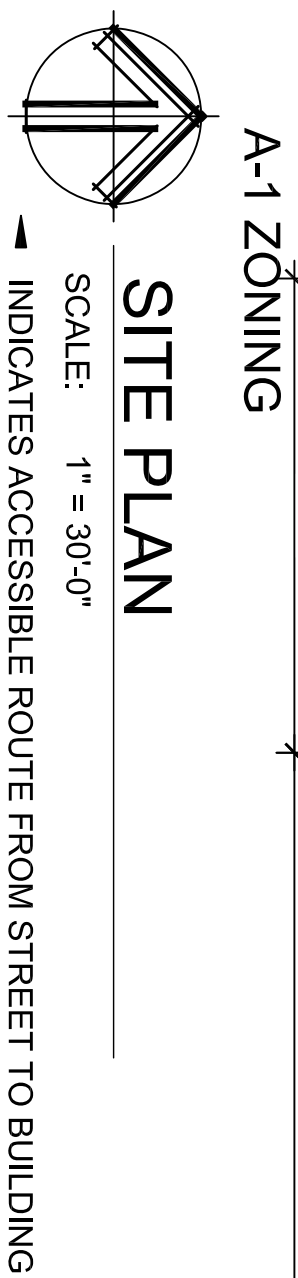
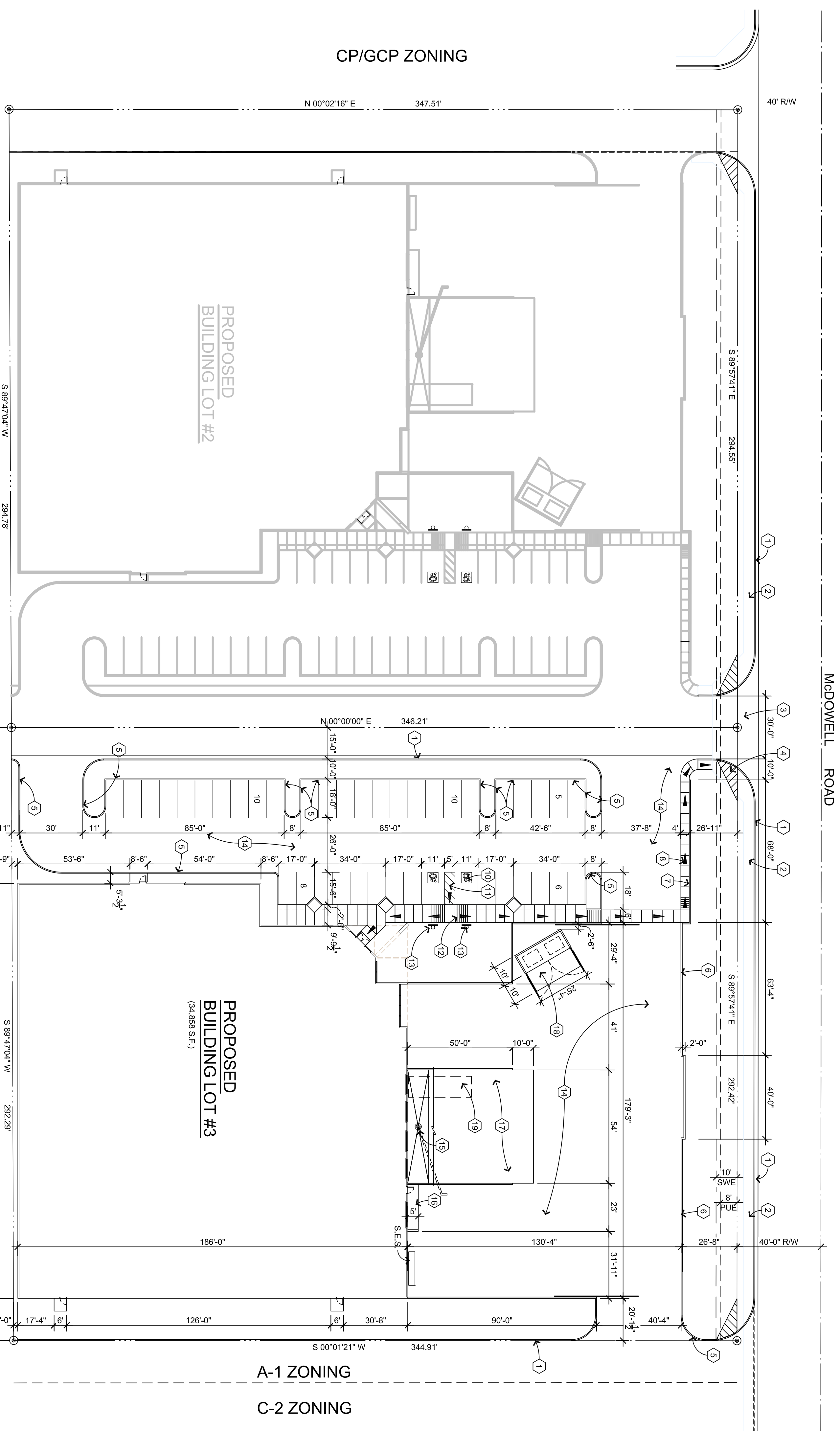
I consent to the reproduction of this site plan for the purpose of future amendments provided that if modifications are made, the architect that makes such changes assumes full responsibility and liability for the plan.

Signature of Copyright Owner \_\_\_\_\_ Date \_\_\_\_\_  
 ROBERT B. WINTON  
 Print Name of Copyright Owner

**PROJECT DATA-LOT 3**  
 ADDRESS: 4507 W. McDowell Rd  
 ZONING: CP/GCP  
 SITE AREA: Gross= 112,722 SF (2.59 Acres)  
 Net= 101,025 SF (2.32 Acres)  
 APN: 103-34-030  
 BUILDING AREA: Small Only 34,858 SF  
 LOT COVERAGE: 34,858/101,025= 34.5%  
 CONSTRUCTION TYPE: VG, AFE5 (NFPA13) (Per S1)  
 ALLOWABLE AREA: 36,000SF-34,858 SF  
 PARKING REQUIRED: 34,858/1,000= 35 Spaces  
 PARKING PROVIDED: 41 Spaces  
 ACCESSIBLE SPACES REQUIRED: 2 Spaces  
 ACCESSIBLE SPACES PROVIDED: 2 Spaces  
 LANDSCAPE REQUIRED: 36 x 450 x 5%+XXX SF  
 LANDSCAPE PROVIDED: XXXX SF  
 OFF STREET LOADING SPACES REQUIRED: 1 Space  
 OFF STREET LOADING SPACES PROVIDED: 4-10' x 30' Spaces  
 OWNER: Chamberlain Development  
 1030 W. Washington Street  
 Tempe, AZ 85281

LEGAL DESCRIPTION:

**PAD-14 ZONING**



**SITE PLAN KEYNOTES LOT 3**

- Existing concrete vertical curb and gutter
- Existing concrete sidewalk
- Existing concrete curb cut
- 10' x 20' sight vision triangles
- 6" concrete curb per detail drawings
- 8'-0" high, 8' curu screen wall
- 3'-0", 8" high curu wall
- 4" concrete sidewalk with score joints at 5'-0" maximum
- 5' x 8' diagonal landscape planter
- Accessible symbol painted on pavement per detail, Sheet SP-2
- 4" wide yellow painted diagonal striping at 24" oc and at pedestrian
- Ramp up maximum 1:12 slope
- Accessible signage per detail, Sheet SP-2
- Asphalt pavement per detail and plumbing drawings
- Stamp pit and pump per detail and plumbing drawings
- 6" concrete apron (3500 psi) by 5'-0" wide flush with finish floor and parking grades
- Concrete truckwell per structural and detail drawings
- Double trash enclosure per detail, Sheet SP-2
- 10' x 30' loading space

SEAL.jpg



**winton architects, inc.**  
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**NEW SPEC. OFFICE / WAREHOUSE BUILDING for LOT 3**  
**McDOWELL THREE**  
 PHOENIX, ARIZONA  
 SUN STATE BUILDERS

job no. 19184  
 drawn GLOA  
 approved RBW  
 date 1/16/2020  
 revisions

**SP-1**